

INTABA RIDGE

— SECURE ECO-ESTATE —

DEVELOPMENT MANUAL

VERSION 9: AUGUST 2019

www.intabridge.co.za

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1 • INTRODUCTION

INTABA RIDGE

THIS UNIQUE GAME ESTATE IS A NATURAL PARADISE OF ELEVATED FARMLAND SLOPING DOWN A NATURAL VALLEY. CONTEXTUAL, HARMONIOUS ARCHITECTURE IS INSPIRED BY TRADITIONAL FARM HOUSE AND NATAL VERANDAH STYLE HOUSES WITH A LUXURY GAME LODGE FEEL.

These guidelines (INTABA RIDGE Development Manual) are to be viewed as an instrument to maintain an overall design sensitivity, and protect the investor, whilst allowing flexibility for individual expression. The intension is to integrate the built and natural environment by:

- Integrated internal and external living spaces
- the use of large verandahs
- large areas of glazing
- limited range of materials and colours
- the use of natural stonework.
- unifying all of the above into forms that are harmonious, sympathetic and embrace the environment.

The landscaping ethos like the architecture is to preserve and protect the unique qualities of this valley and enhance the indigenous environment. In order to maintain continuity in the overall landscape character, owners of Erven are required to design and implement the garden landscapes around the buildings in accordance with certain conditions, specifications and restrictions. In this way, the collective landscape theme will be realised for the appreciation and benefit of all.

This Development manual is supplementary to the National Building Regulations and the requirements on the Local authority. It has been drafted to assist all property owners with the preparation and development of their own residential components and plans. The Development manual must be read in conjunction with the following documents:

- Environmental Management plan (EMP)
- Home Owners Association (HOA) conduct rules
- HOA Articles of Association
- Sale agreement
- Contractor Protocols
- Homeowner's information manual

All submissions are to be submitted, executed and documented by a DRC Architect. **Sagnelli Associate Architects** represent this committee. It is recommended that the architect be appointed for full architectural services and as Principal agent. However a minimum appointment of LA drawings, 1 monthly inspection and as-built plans is required.

Prior to the Site Handover Meeting, the owner and contractor must each lodge a Construction Deposit of R10 000 with the Intaba Ridge Homeowners Association.

In the event of the owner electing not to use the services of his Architect to inspect the building works, then such deposit is increased to R20 000. In addition to the R20 000, a further R10 000 must be lodged to cover DRC committee members as Principal Agent to carry out inspections at the instruction of the HOA to ensure that the build is done in terms of the plans approved by the DRC.

Before the handover, the owner shall be obliged to have the boundary pegs identified by a Land Surveyor and a certificate to that shall be handed to the owner at the Site handover Meeting.

In the case of any alterations to buildings, the same procedures shall be adopted and the same fees will be payable.

2 • SITE AND BUILDING CONTROLS

Only one dwelling with associated outbuilding, including staff quarters, will be permitted per ERF or consolidated ERF. No stables or any building for the housing or keeping of livestock will be permitted.

Single and double storey dwellings will be permitted.

No double storey Houses permitted around dams or ERVEN 1-13, 58

The **Maximum height** of the buildings on residential stands is **two storeys**, up to a maximum of **8m** above Natural Ground level (NGL). (NGL), Natural Ground Line are considered as the levels documented on exiting contours of each Erf when it was sold.

On steep sites by special consent a semi basement **3rd floor** will be considered with a maximum penetration of the Natural ground line by 1.2m, subject to the Local Municipality regulations and approval. The semi basement area is to be in the calculation of the building bulk.

The semi basement may not be presented as a habitable room, ie No windows, plumbing (toilets etc.) will be allowed in these areas .

Furthermore the maximum height restriction of 8m above NGL will still apply.

The buildings are subject to the following restrictions:

- Building footprints are restricted to **50%** of the site area.

- **PAR** must not exceed **0,5** of the site area.

- The top floor of any two storey building **may not** exceed **40%** of the overall building area.

- The minimum **PAR** of the buildings **must** exceed **200sqm**

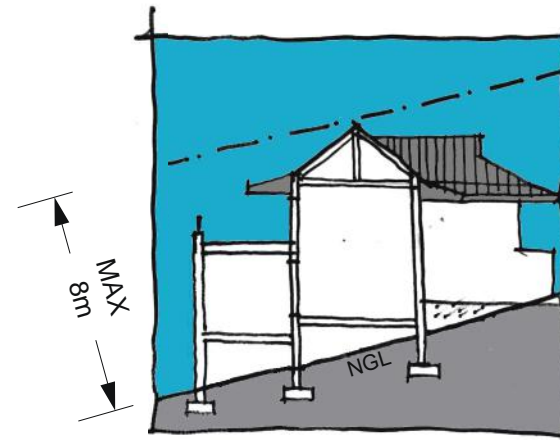
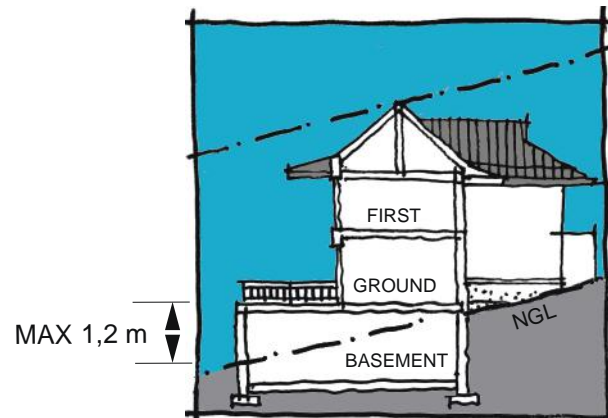
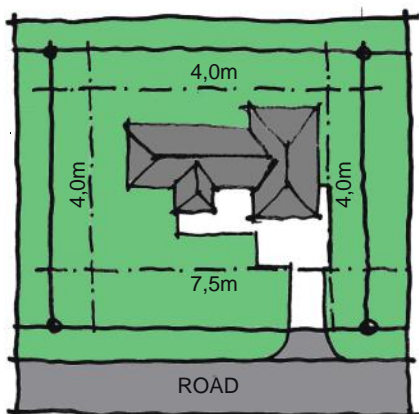
- In special circumstances the HOA will allow banks of 2m encroaching over boundary lines, provided the owner obtains neighbours consent and banks do not exceed the natural angle of repose...ie 26 degrees.

The **Building lines** may be anywhere within the area of the ERF not covered by the No Building Servitude.

The core of the philosophy surrounding the limitations imposed on the Homes Owners with respect to privacy and protection of the homeowner is contained in the overall limitation of the individual Erven:

Side and rear spaces = 4,0 m

Road = 7,5 m



No **Round** or **octagonal shapes**, defined as Freeform or Organic will be permitted. This includes chimneys, braais etc. Round columns will be considered at the discretion of the DRC.

No part of the dwelling to be built on **pillars/stilts**.

Double storey walls must be split by a roof element. (refer to VERANDAHS page 15)

The external living area that is disturbed by construction must be rehabilitated in accordance with the EMP and Landscaping Code.

No departures from this requirements will be considered by the HOA, unless for environmental reasons, which must be suitably motivated in writing.

No building work will be allowed on areas where the Environment Management Plan has indicated it as too wet for building or sensitive flora are present.

The work area for construction will be fenced with poles and green colour shade cloth not lower than 1.8m.

3 • ROOF

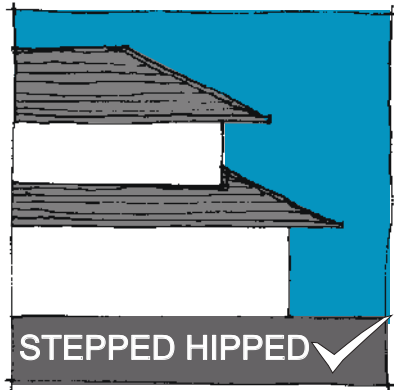
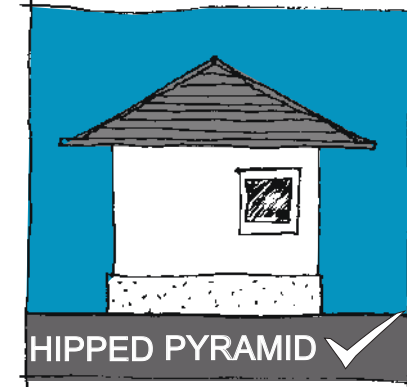
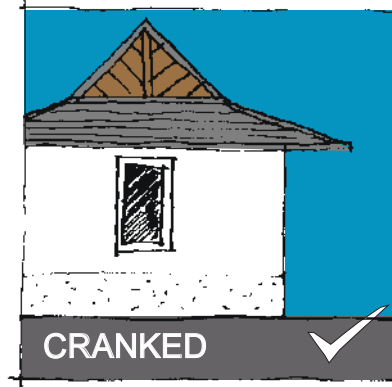
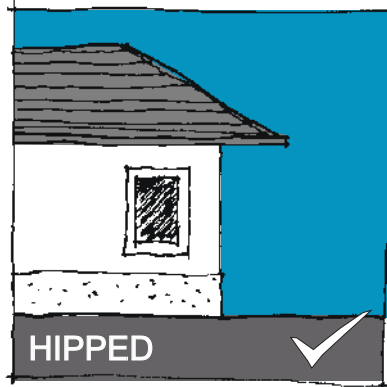
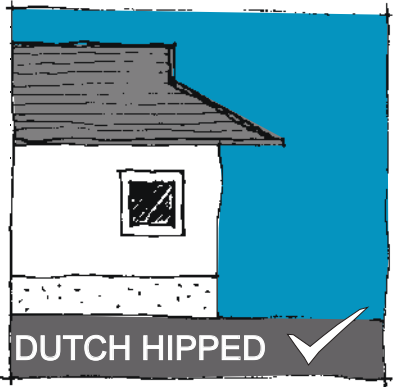
All roofs are to be pitched and hipped, with no monopitches, mansard roofs permitted. Flat roofs as linking elements will be considered at discretion of DRC. (Refer to page 9)

Dutch Gables are encouraged.

Gable ends are only allowed with exposed trusses.

Only Slate, Clay/Concrete roof tiles or roof sheeting to be used. No combinations of roof materials will be permitted.

ROOF FORMS



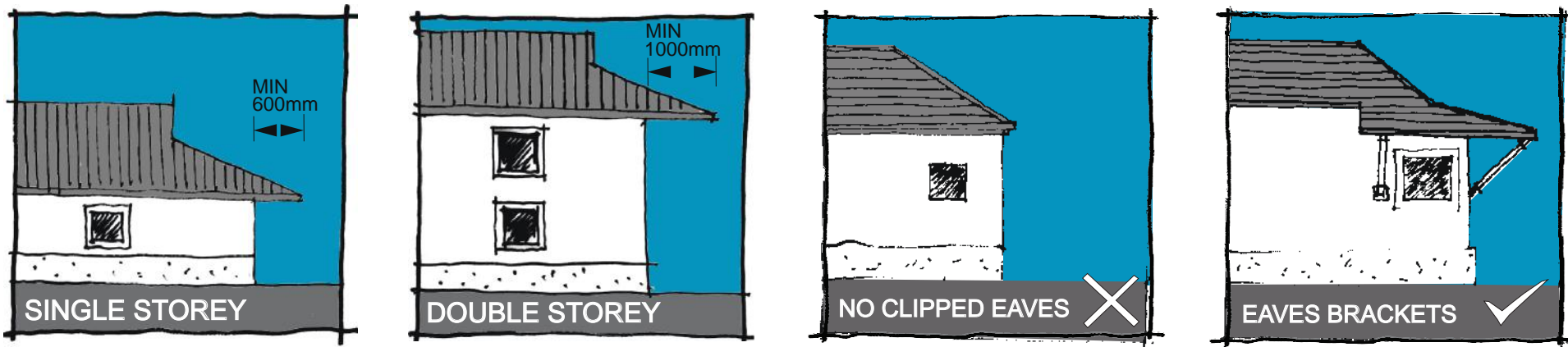
ROOF OVERHANG

Large overhangs are encouraged as an appropriate response to our sub-tropical climate providing shade from sun and shelter from rain to openings and walls.

No overhangs of less than **600mm** will be permitted on **single storey** dwellings.

No overhangs of less than **1000mm** will be permitted on **double storey** dwellings.

The use of wall brackets is encouraged.



ROOF FINISH

For the building to be in harmony with the environment, it is critical that the roofs are a dark colour and have a matt texture. This dark colour and texture is also a unifying feature of the Estate.

Materials and colour Included.

- Clay/Concrete tile, only Marley M22 Slate colour.
- Slate tiles, dark colour
- Roof Sheeting, **Chromodek** - charcoal or dove grey
- Safintra** - zinc plus, slate or thunderstorm

Materials and colour Excluded

- Reflective surfaces
- Thatch
- Copper
- FC slate
- All colours not on list.

ROOF PITCH

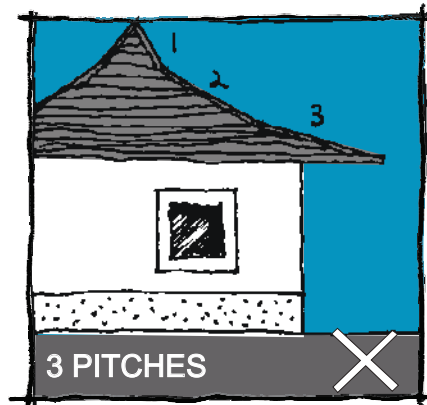
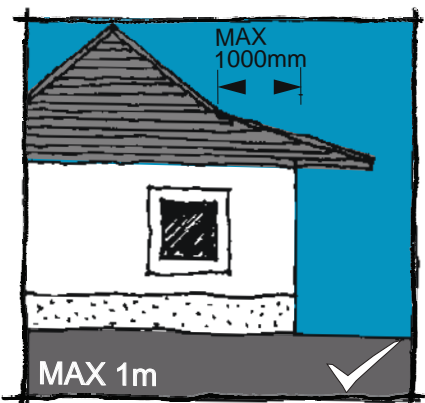
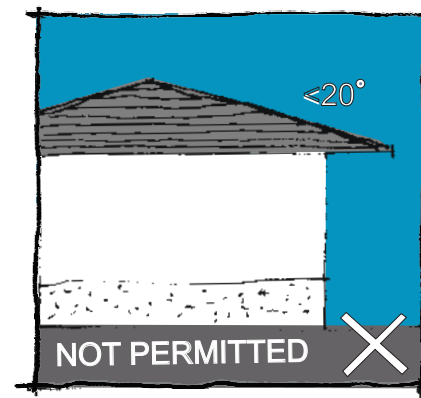
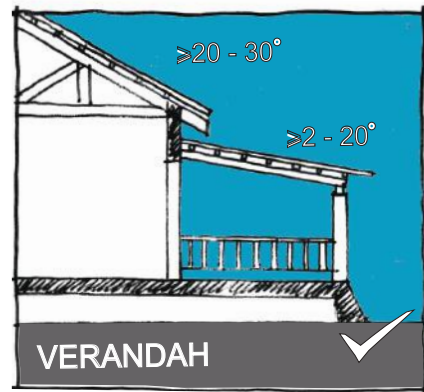
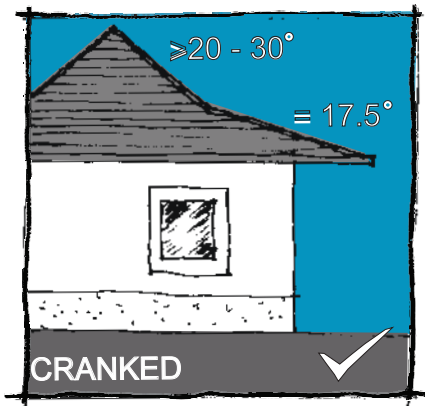
Roof pitch to be between 20 - 30 degrees for the Primary/Major Roof and a minimum of 2 - 20 degrees for the secondary roof portions, designed such that the proportions translate to Natal Verandah Style architecture.

Where the Primary/Major roof has a change in pitch (crank), the crank may not occur nearer to the ridge line than 1m from the outside walls of a house.

Furthermore the minor of the two pitches must be 17,5 degrees.

No more than 2 pitches will be permitted.

Freeform, thatch roofs, round barrel, domes, monopitch roofs and pitches other than specified will **not** be permitted.



ROOF LIGHTS, WINDOWS AND DORMERS

Roof lights are to be set into the plane of the roof. Where no verandah is used, the roof lights must be centred vertically in line with window and door openings in the walls below the roof.

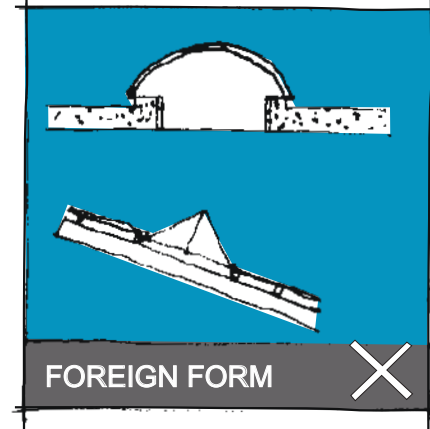
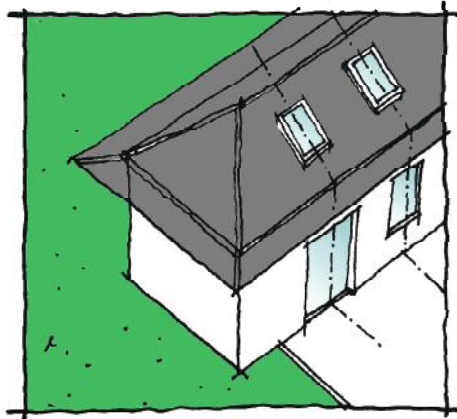
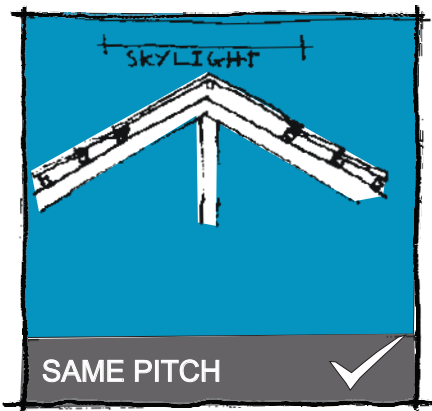
Roof lights must be the same size as where used in the same plane/angle of the roof.

Where verandahs are used, roof lights must be space equally.

No roof lights may infringe on any neighbours privacy and where possible should face away from the neighbours to avoid light pollution at night.

No reflective glass is permitted.

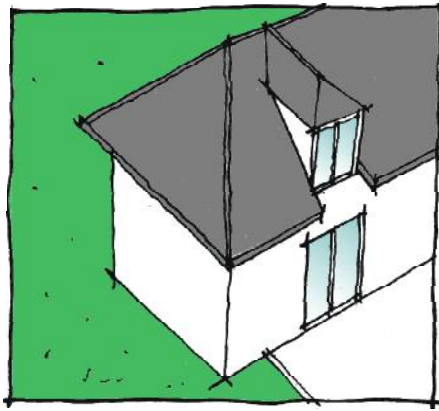
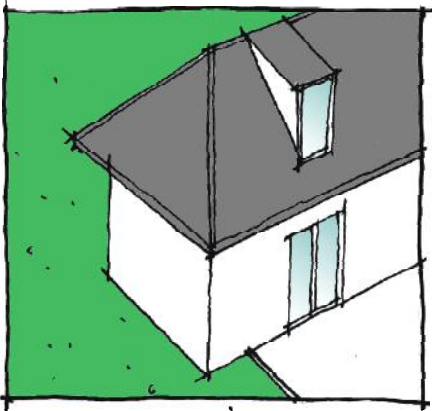
Glass may be clear, grey non reflective or bronze non-reflective. No other colours will be permitted.



Dormas **are** allowed, but must be a minimum of 700mm wide and should not occupy more than 30 % of the roof length

No false Dormers will be permitted.

No Dormers may infringe on any neighbours privacy.

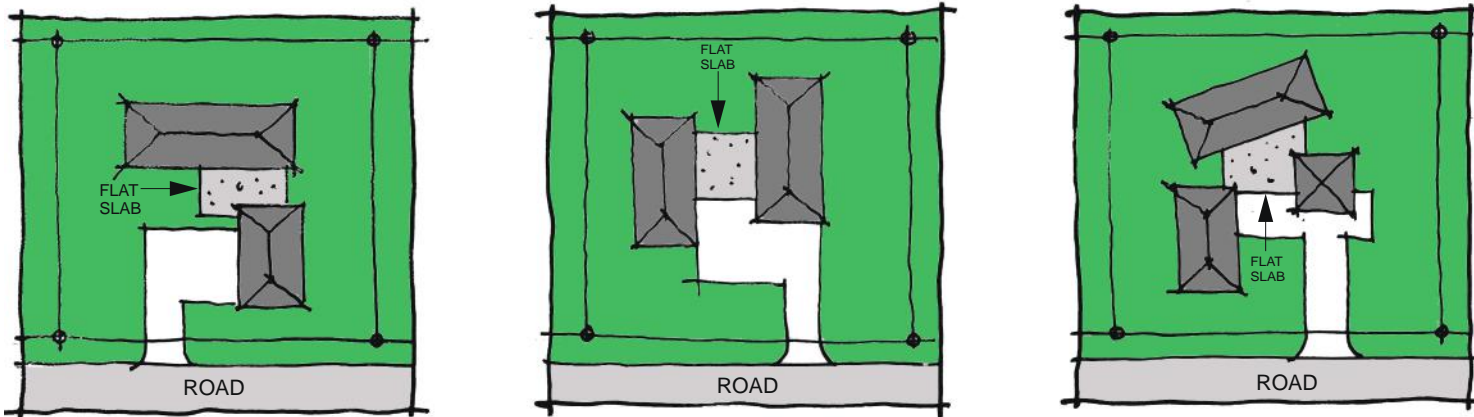


FLAT CONCRETE ROOFS

Where a flat concrete roof is used as a connecting element between two major forms, the top of the concrete parapet must be at least 125mm below the fascia boards of the major roof elements.

Only a flat concrete roof, or lean-to roof with a parapet toward the outside, may be used to link the major forms. The extent of the flat roofs as linking elements will be restricted to a width of no more than 2.5m and be contained, on two sides at least, by major forms and should not project more than 3m beyond the extent of the major form.

It should be noted that the regular plan shapes must be adhered to, although concrete roofs do not have to be rectilinear. The extent of the flat concrete roof will be no greater than 20% of the total roofed area.



FASCIAS, BARGEBOARDS, DOWNPIPES AND GUTTERS

Fascias should match the colour of the roof or walls.

Gutters should match the background colour of the material on which it rests (fascia boards) and downpipes should match the colour of the material on which it rests.

The colour should be consistent throughout the specific property.

Building a dwelling without guttering is acceptable as long as the discharge of stormwater is controlled.

4 • EXTERNAL WALL MATERIALS, FINISHES AND COLOURS

External walls must comply with the National Building Regulations and comprise a recognised building system, approved by the NHBRC. Thickness and insulation must comply with Local Authority requirements.

External walls **must** have a plinth.

Plinths to be rough plaster or stone finish. Plinth finishes stopping a min 600mm FFL to show a clear distinct definition between foundation and upper surfaces.

External walls to be plastered and painted using the specified natural colour range. Rough plaster finishes are encouraged.

Window bands are **mandatory**.

Wall finishes included

- Natural stone, slate and sandstone is mandatory. It can be on plinths, columns, linking elements, wall features on at least 2 elevations.
- Plaster finish - vertical brush texture or indiscriminate scratch plaster/smooth.
- Stonewalls for links and terrace wall which match the main structure are encouraged.
- Stone plinths/cappings are encouraged.

Wall finishes excluded

- Facebrick
- Mouldings
- Spanish plaster
- Corner stones
- Fibre cement
- Shiplap
- Imitation Stone/Patterned plaster (Rockcraft)
- Rustications
- Highly reflective.

COLOURS

PLASCON PAINT COLOURS

BBO 602 (FEVER TREE)
BBO 604 (BUSH FIRE)
BBO 605 (DUNE 4)
BBO 606 (SAFARI TRAIL)
BBO 608 (CAPE FYNBOS)

BBO 609 (MISTY VALLEY)
O5-D1-3 (VOLUTE)
O5-D1-4 (AUTUMN WIND)
O7-D1-4 (ROCK OUTCROP)
Y2-D2-1 (WAXEN TINT)

Y2-D2-2 (STONE WASH)
Y2-D1-4 (OLD COBBLESTONE)
Y5-D1-3 (SECRET PLACE)
Y5-D2-1 (ANTIQUÉ LINEN)

EARTHCOTE SAND PAINT RANGE - ALL COLOURS TO MATCH PLASCON WALL COLOURS

MARMORAN - ALL COLOURS TO MATCH PLASCON WALL COLOURS

ACCENT COLOURS - COLOUR FOR A SMALL AREA SUCH AS A DOOR, GATE, PART OF A BALUSTRADE OR AN ENTRANCE FEATURE . THE FOLLOWING ARE PERMITTED:

C6- 7 COPPER BERRY
E32 - 7 NIGHT SHADE

D19 -4 FLO'S CHAIR

C8 - 7 RUST

D12 -3 MOCHA

5 • PLINTHS AND COLUMNS

In general, stone bases or plinths are encouraged.

'Stone' columns should be a minimum of **600mm square**.

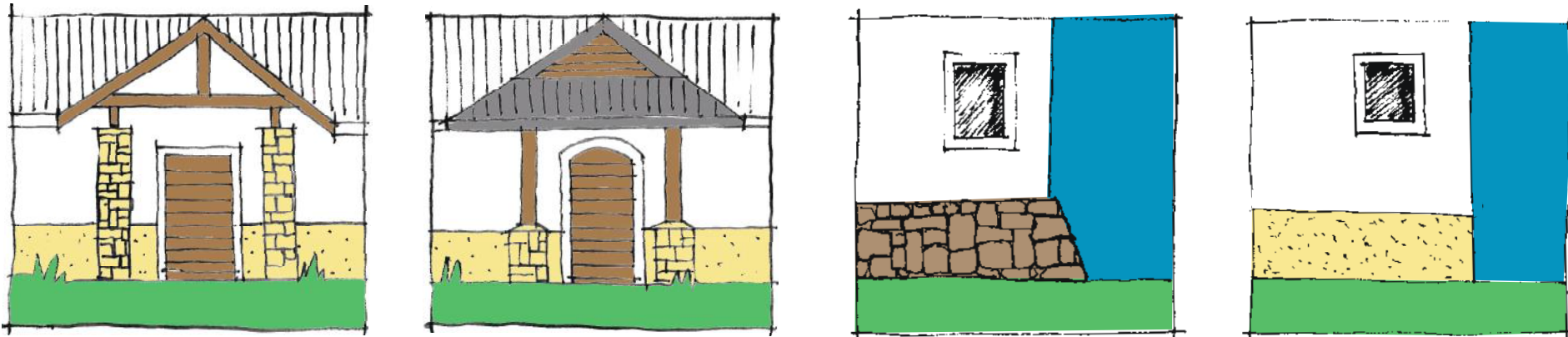
Brick columns must be minimum of **345mm square**.

Single/double steel or **timber posts** with or without a 45 degree bracing detail at the top of the post may be used.

Verandah posts if not natural stone or wood, must be the colour and texture of either the wall or windows and doors.

Exclusions

- Lattice work
- IBR profiles
- Victorian cast iron posts
- Precast
- Ornate columns such as Corinthian/ Ionic top and bottoms.



6 • WINDOWS

Window styles and colours are considered Unifying features.

Large glass view windows with simple lines are encouraged.

No irregular shaped windows are allowed. Rectangular bay windows are allowed provided they are less than 60% of the overall maximum width.

No awnings of any type will be allowed.

Glass standards should conform to the National Building Regulations.

Gable vents and windows must correspond to the roof shape.

Burglar guards must not be visible from the External living area.

WINDOW COLOURS

Where the windows are natural timber, they must either be natural medium mahogany, darker stained, or painted to match the aluminium.
No redwood stain is permitted.

E9 - 7 Maple Bark

E32-7 Nightshade

Where the windows are Aluminium or other material, they must be matt finished to a colour closely matching medium or darker mahogany or charcoal
Gloss Charcoal - VP7007 equivalent to E32- 7 Nightshade.

Matt Charcoal - VP7107 equivalent to E32- 7 Nightshade.

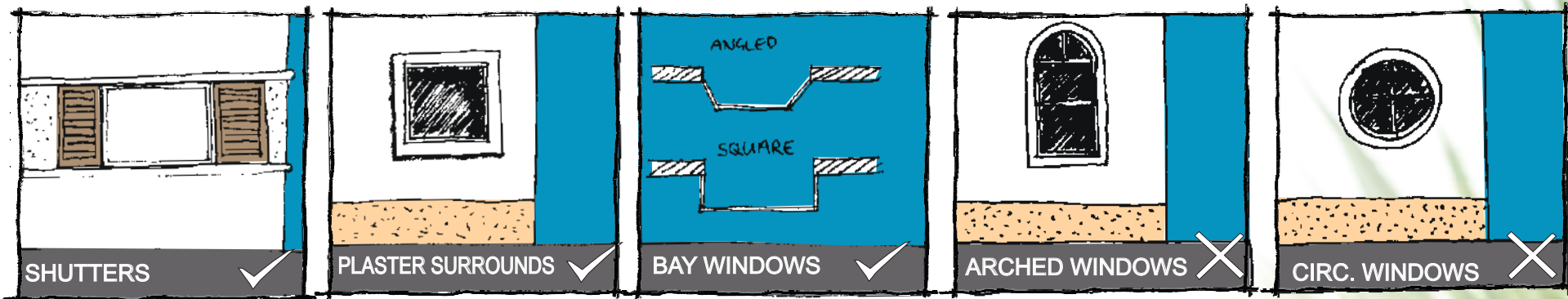
All windows must be of a matching style and colour throughout. Wood and aluminium cannot both be used.
The colour and style of the windows must match the colour and style of the doors and balustrades.

Window Inclusions

- Timber
- Powder coated Aluminium
- Plain frosted glass
- Large glassed panes
- Cottage pane
- Bay windows.

Window Exclusions

- Concrete window frames
- Decorative mouldings
- Stained glass
- Reflective glass
- Round arches
- External burglar guards
- Flat arches



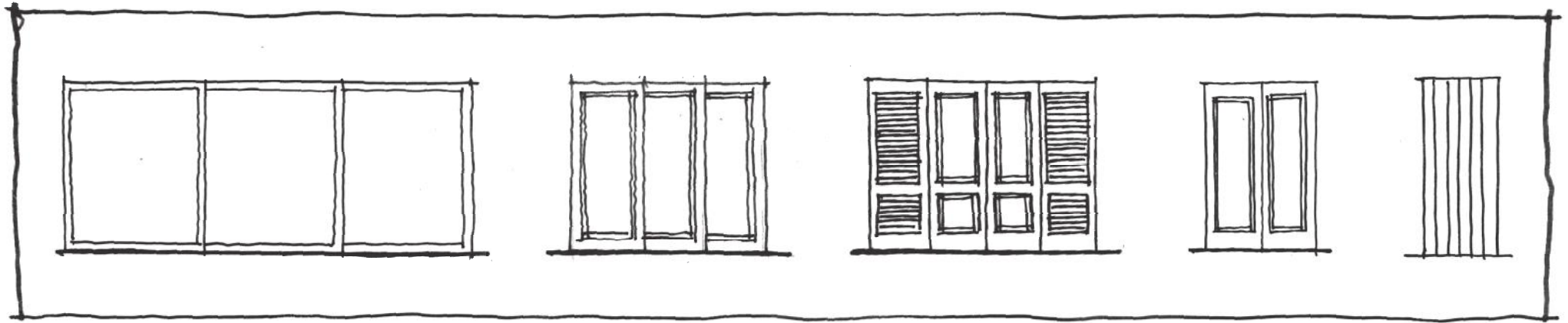
7 • DOORS

Door styles and colours are considered Unifying features..

Simple lines are encouraged.

Doors must be made of-

- Timber, natural or painted to approved colours
- Aluminium, powder coated to approved colours
- Glass.



Where the doors are natural timber, they must either be natural medium mahogany, darker stained, or painted to match the aluminium.

No redwood stain is permitted.

E9 - 7 Maple Bark

E32-7 Nightshade T

Where the doors are Aluminium or other material, they must be matt finished to a colour closely matching medium or darker mahogany or charcoal

Gloss Charcoal - VP7007 equivalent to E32-7 Nightshade.

Matt Charcoal - VP7107 equivalent to E32- 7 Nightshade.

All doors must be of a matching style and colour throughout. Wood and aluminium can be used in combination only on Front Entrance Doors Or service doors.

Patios sliding doors/folding stacking doors cannot be aluminium when wood is used throughout elsewhere or visa versa.

The colour and style of the doors must match the colour and style of the windows and balustrades.

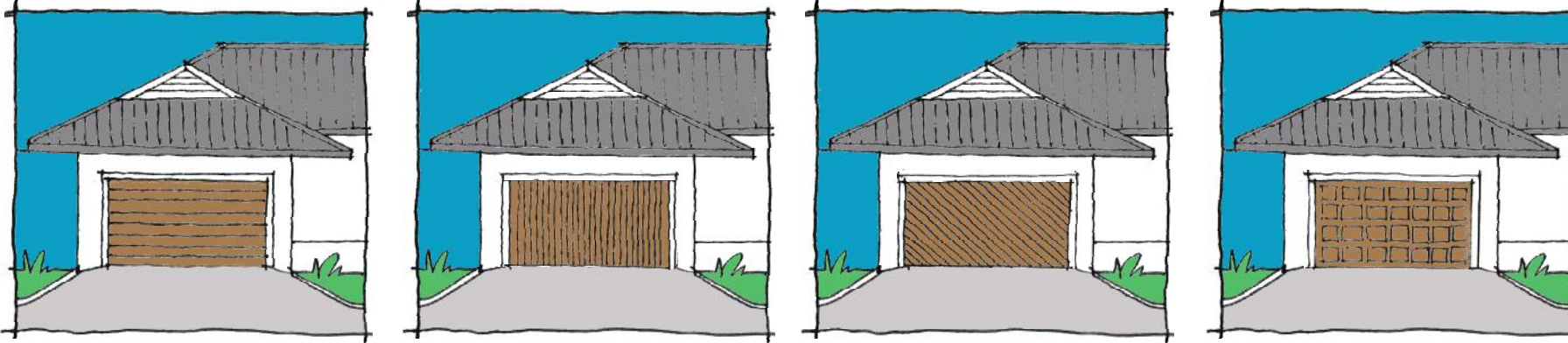
Ornate doors will **not** be permitted.

Round arches will **not** be permitted.

Flat arches are permitted on **Front Entrance Doors only**.

GARAGE DOORS

Garage doors may be single in 2800mm wide openings or double 5000mm maximum width openings. They must be of natural timber or fibreglass and must match the colour and texture of the walls, doors or windows. (only natural brown colours. Red shades or black/grey will not be permitted.)

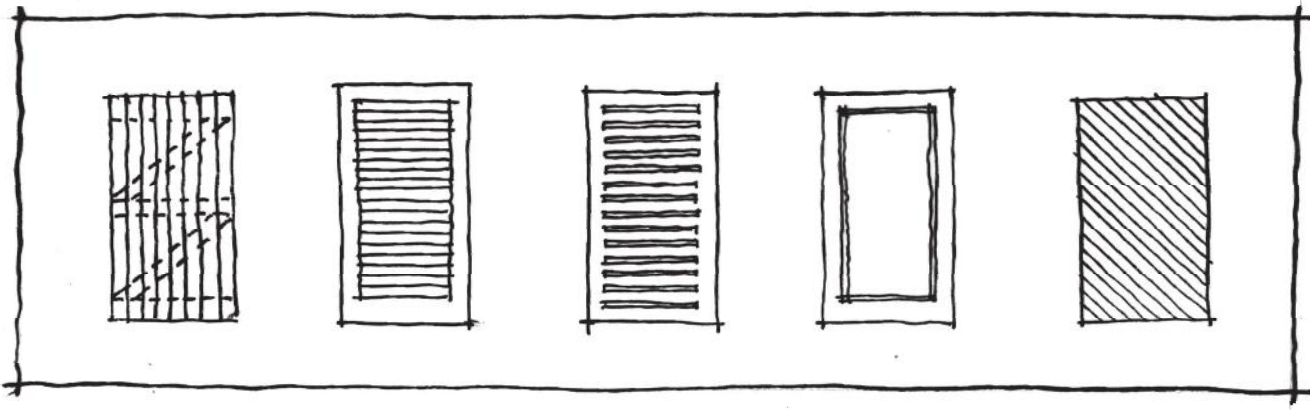


Exclusions

- Precast concrete
- Fibreglass roof sheeting

8 • SHUTTERS

The use of traditional functional timber, PVC and aluminium shutters are encouraged. A simple, clean style is encouraged. The colours must match the doors and window frames of the dwelling.



Inclusions

Vertical and horizontal lines.

Exclusions

Excessively large and obvious sliding shutter tracks or pelmets.

9 • VERANDAHS

Large verandahs are mandatory as a feature of the home. Verandahs are considered part of the building footprint.

The following minimum specifications are required.

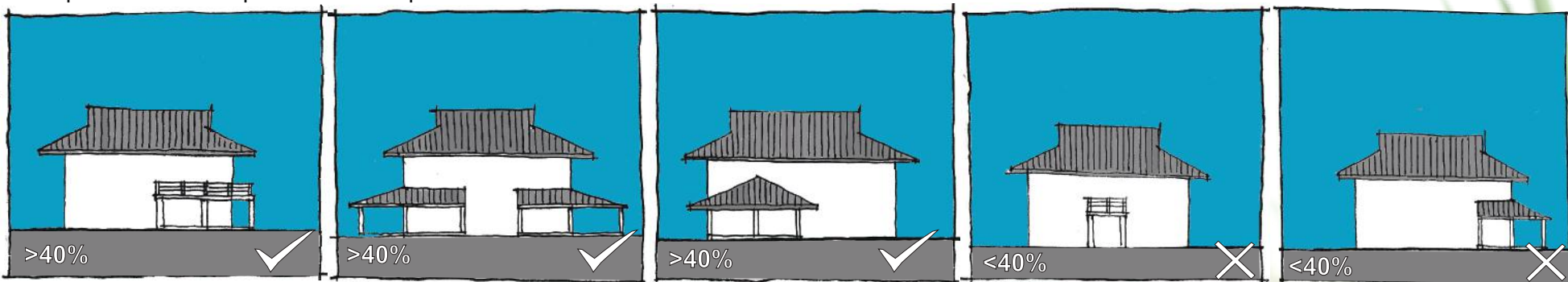
- A minimum of 30sqm of verandah or 10% whichever is greater is to be designed for every dwelling of which 50% must be greater than 3m deep.
- On steep sites timber decks are encouraged (not to disturb the natural environment).
- Brown balustrades are specified with simple lines and are a unifying feature.
- No elaborate or ornamental screens or features allowed.
- No white permanent features allowed.
- Wooden decks may be stilted.
- Openings between supports should be no greater than 2x the height of the verandah support.
- Verandah and deck posts/supports should be discreet and may only exceed a height of 2m on ground floor level, where the slope exceeds 35%.
- Double storey walls must be split by a roof. Min 40% will be permitted.

Inclusions

- Timber or masonry enclosures to either end of the verandah. Masonry enclosures of both ends will not be permitted.
- Screens of slats, dowels and saplings.
- frameless glass sliding doors.
- PVC blinds may be considered to the discretion of the DRC.
- Not more than 3 sides may be closed with blinds.
- Flameless glass is acceptable for full enclosure.

External Blind protocol

- Natural material only may be used, ie wood, grass, cane....etc
- No plastic canvas or artificial materials will be allowed.
- Blinds are to be rolled up with no side guides.
- There may be no openings or window in the blinds.
- The blinds are to be mounted in the recess between columns.
- It is preferable to keep blinds rolled up.



10• BALUSTRADES

Balustrading styles and colours are considered unifying features.

Small unobstructive balustrades with simple lines are encouraged.

Non- corrosive stainless steel cables will be permitted as balustrade in-fill, in combination with timber posts and handrails.

Safety glazed balustrades with or without handrail is permitted. Handrail to be timber or aluminium to match windows and doors.

No elaborate or ornamental screens or features permitted.

No Irregular shapes or finishes are permitted.

No polished stainless steel will be permitted.

Frameless glass balustrades will be permitted.

Balustrades to balconies must conform to the National Building Regulations.

Where balustrades are natural timber, they must either be natural medium mahogany, darker stained, or painted to match the aluminium.

No redwood stain is permitted.

E9 - 7 Maple Bark

E32-7 Nightshade

Where the balustrades are Aluminium or other material, they must be matt finished to a colour closely matching medium or darker mahogany or charcoal,

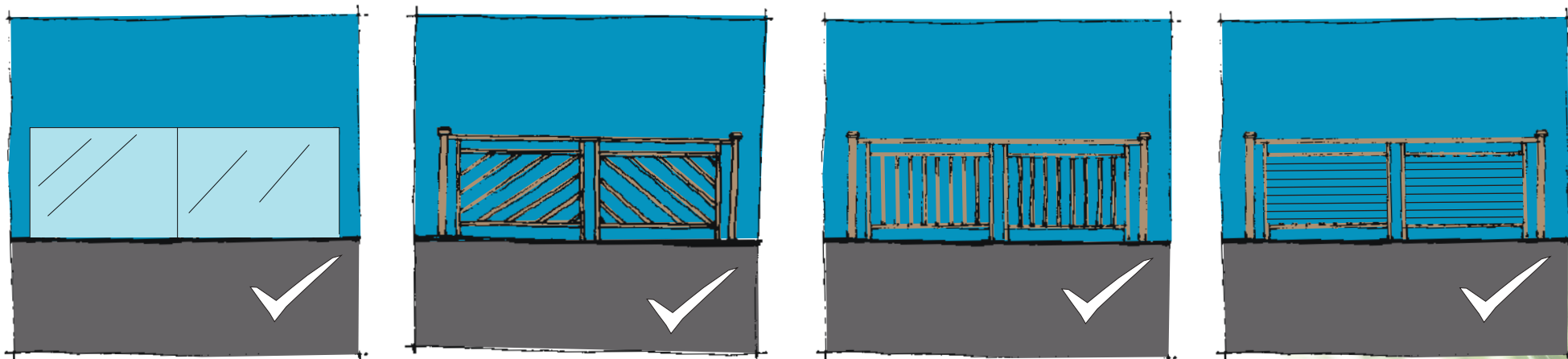
Gloss Charcoal - VP7007 equivalent to E32-7 Nightshade.

Matt Charcoal - VP7107 equivalent to E32- 7 Nightshade.

All balustrades must be of a matching style and colour throughout the building.

The colour and style of the balustrades must match the colour and style of the doors and windows.

NOTE: ALL BALUSTRADE DESIGNS ARE SUBJECT TO ARCHITECTURAL REVIEW COMMITTEE APPROVAL.



11• BOUNDARY WALLS, FENCES, AND RETAINING STRUCTURES.

No boundary walls are allowed. Boundary fences are allowed. Bearing in mind that the entire estate is to be fenced with an electric fence and supplemented by other security measures, the need for fencing, as a security precaution is minimal.

Owners wishing to define their site boundary may do so, only standard paddock fencing and pedestrian gates are permitted, which is limited to the rear and side boundaries and shall be installed on the 5m building lines (side and back) and 4m building line (front) (ie to exclude “no boundary servitudes”), but may be returned into the side walls of the building/buildings.

The only walls permitted that do not form part of the building are walls specifically for the screening of the refuse storage and laundry areas. (see page 18) These walls must match the rest of the dwelling (colour and /or materials) and may not be higher than 2,1m.

Exclusions

- Precast structures
- White picket
- Ornate timber
- brick columns with pre-cast ornamentation.
- Fences on the street boundary
- Driveway entrance gates

Permanent Garden Fence Protocol - Policy on the Erection of fences on the Estate

- Fences must be included in the Architectural Submission process for approval by the Architectural Review Committee (ARC)
- Two types of fences are permitted.
 - Post and rail for all exposed area
 - Bonnox fencing is only allowed below platform levels out of direct sight. All mesh fencing must be planted.
- A maximum of 50 % of the property may be fenced - including the area of the house.
- Tanalith posts, gum poles may be used.
- Posts to be a minimum diameter of 100mm
- Weld mesh 100/25 vertically attached.

- Fence height maximum of 1,5m
- 1,2m fence to have 3 horizontal strains
- 1,5m fence to have 5 horizontal strains.
- Creosote poles will not be permitted.

- Hedge/Shrubs to be planted both sides. Hedge must be fully grown within 1 year (see planting species options for the fast growing hedge species).
If the hedge is not grown the IRHOA reserves the right to insist that the owner remove the fence.
- Where possible, the road boundaries are not to be fenced. Where this is the only option it may be fenced on application to the IRHOA, which must be done prior to approval of the plans by the Architectural Review Committee.
- The fence is to be ON THE BUILDING LINES and planted on both sides.
- Relaxations of fencing or decking (ie non-permanent structures) within the no-building servitudes will be considered with:
 - A) Neighbours consent
 - B) Bearing in mind the free movement of game throughout the estate. TO BE REVIEWED AND CONFIRMED.

Retaining Walls

Retaining walls to be constructed in cut to a max of 2m high with 1m set back to next retaining wall if going higher. retaining walls are not allowed to be steeper than 17 deg, to ensure they can be planted. All retaining walls must be planted with planting types indicated on the Landscape plan.

12• BRAAI / BARBEQUES

Simple style BBQ's are encouraged, in materials/colours to match those of the dwelling.

13• SWIMMING POOLS

Swimming pools may not be within the No Building Servitude.

Swimming pool fences and safety nets are encouraged and should be used. All swimming pool fences must comply with National Building Regulations and must be charcoal in colour. (This can be done as a boundary fence and landscaping)

Swimming pool filtration systems and pumps must be as un-obstructive as possible and be hidden from plain view.

They should be hidden from view by inclusion within the building structure or by a masonry or natural timber screen that matches the language of that main dwelling.

Pumps must be positioned such that they are not audible to the neighbours. (to be indicated on Submission drawings)

14• TENNIS COURTS

Tennis courts should comply with NBR, and are to be positioned in consideration of the neighbouring sites. With the exception of the Club House Tennis Courts, **no** court should be flood lit as this will affect the neighbours negatively.

Boundary walls to the court should comply with item concerning 'Boundary walls, walls, fences..etc'

15• PARKING, DRIVEWAYS AND CARPORTS

Every Erf must provide off-street parking for at least two cars in addition to garaging.

Driveways, are not considered part of the Hardened surface area.

All driveways must be hard surfaced as follows:

- The driveway will run from the road edge to the garages, with tan, charcoal, grey or brown pavers or cobbles. Tar is only allowed from road to site boundary and must have a double cobble surround.
- Interlocking pavers are **NOT** permitted.
- The position and gradient of the driveway should be done as to avoid existing trees wherever possible.
- Trees and sensitive flora listed by the HOA may not be disturbed in anyway.
- No walls are permitted in front between the dwelling and the road.
- Details of the driveway must be included on the site plan.
- The maximum width of the driveway at the point of joining the road and through the No building Servitude is 4m + maximum 1m bell mouth on either side (6m).
- Patterned driveway pavers are **NOT** permitted.
- Carports are **NOT** permitted.

16• SERVICES

SATELLITE DISHES and **TV** aerials must be fitted below the eaves line of the main building form and wherever possible, be hidden from the general view. If at all visible, the colour must match the wall or roof colour on which it is fitted.

SEWER and **VENT PIPES** must be concealed in vertical ducting or niches within the wall plane of the building and must conform with National Building Regulations. They may be exposed below 1m above NGL.

AIR CONDITIONING condenser units must be installed at ground level, and screened appropriately within a 1,2m height, taken above the ground floor finished floor level. Window mounted units will not be permitted.

Only wall units within a 1,2m height taken from above the ground floor finished floor level will be permitted.

All condenser units must be screened.

SEWAGE DISPOSAL, it is a requirement that a Geo-technical investigation be carried out on all stands to determine the percolation rate and specific design of each soak-away.

Such design must meet Municipal standards and must be via septic tanks and soak-aways, which must be deeper than 700mm (soil cover).

These systems must be designed and approved by a qualified engineer.

Where suitable soil does not exist on site, the developer will make available stock piles for collection. This must be confirmed at site handover.

RAINWATER HARVESTING AND GREY WATER TANKS and associated feeds and pumps must be concealed within the building form and hidden from view, within the confines of a courtyard space. If, by necessity, they are required to be out of the confines of that courtyard, then they are to be positioned within an accessible chamber, below NGL.

The associated piping running from the Stormwater down pipes and /or Grey water componentry such as showers, wash hand basins etc, are to run below ground and/or within vertical ducting or niches in the wall plane. All tanks, feeds and pumps must conform with National Building Regulations.

The Owners are to be mindful of the sound generated by the respective pumps where the relevant chamber housing the pumps are to have doors and an enclosure that reduces the decibel level to an acceptable level.

17• DWELLING NUMBERS

All homes shall install the standard dwelling numbers. The HOA, Estate Manager positions the rock alongside the driveway to install the signage.

Uplighting/downlighting of these signs is permitted and a **Mandatory Acacia Tree** or **Tree Aloe** positioned alongside the sign. This must be indicated on the landscape plan.

18• CLOTHES LINES, REFUSE AREAS, SERVICE COURT, WATER COLLECTION TANK

Clothes lines, refuse bins and Jojo tanks must be screened by a 2,1m high wall or placed in a concealed service court.

Refuse rooms with lockable doors are encouraged.

19• ELECTRIC AND WATER METER BOXES.

Electric meter boxes may not be visible from the road. The electrical meter box must match the wall colour.
Water meters must be underground situated at the entrance to the ERF.
NB: Intaba Ridge only has 3 phase power supply, no single phase.

20• EXTERNAL LIGHTING

In general, a 'dark sky' philosophy is encouraged. This dictates that a pool of light may be seen but not the light source. No external pole mounted street lamps will be allowed. Landscape lights must be discreet and not higher than 750mm, flat ground mounted lights are preferred.

INCLUSIONS

Only white or amber coloured lights.

EXCLUSIONS

Flood lights
Spot lights
Light shining upwards with the light source visible.

21• LANDSCAPE PLAN

All owners to allow a minimum of 2% of the total building cost (excluding land) as budget for landscaping. It is the owners responsibility to rehabilitate and maintain the ERF in accordance with the Environmental Management plan.

A minimum of **5 Acacia trees** is mandatory, one next to dwelling number signage, and 3 on the verge , minimum 70L and species to comply.

A garden landscape plan for the garden of an ERF should accompany the Building plan at submission for approval by the Design Review Committee.

Only trees and shrubs on the approved list will be allowed.

The plan must be to a scale of 1:100 and must include the following:

- Adjacent areas of the private open space.
- All grading, retaining and terracing intended to be undertaken, including gradients and structural elements must be indicated.
- All plant material, species, number, spacing and size must be indicated, including grass species for lawns and these must conform to the restrictions in plant choice given in these guidelines.
- All paving, water features, swimming pools, pumps and filters, fences and any other structural elements must be indicated and the intended finishes specified. This must include details of stormwater handling and elevations where relevant.
- The irrigation layout, pipelines, head positions and head types and intended coverage area.
- Clotheslines, dustbins, storage areas and other utility areas and their screening must be indicated. LANDSCAPER TO REVIEW.

RESTRICTIONS

An ERF owner, his agent, or anyone employed by him, may not:

- Remove trees, landscaping, or any other plants or natural elements such as rocks or firewood from the private open spaces and common areas.
- The gardening and landscaping activities shall be confined to the physical extent of the External Living Area and it is encouraged that the External living area remain natural.
- Landscaping must be complete within six months of occupation. Failing to comply will incur a fine of R3000 per month.

- Planting trees on common property adjacent to a dwelling is encouraged but permission for the position, number and species must be obtained from the HOA.
- Remove, cut or disturb any tree or plant on the ERF that is listed herein as sensitive.
- Cultivate or let grow any declared invasive alien plants, trees, shrubs or grasses anywhere within the ERF.
- Install garden lighting other than bulkhead lighting units fitted with 45degree louvre attached to the building itself. Final numbers and positions must be approved by the Architectural Review Committee.
- Cultivate a hedge unless the position, type and final height were indicated on the landscape plan so submitted.
- Invasive alien vegetation clearance on any undeveloped ERF, remains the responsibility of the owner and must be undertaken on a quarterly basis, failing which the HOA will undertake the clearance at the owners cost.

22• SUBMISSION PROCEDURES

To ensure that the Estate is developed in accordance with the development philosophy and to protect the interests of the investor, a step-by-step development procedure must be followed. The Design Review Committee is responsible for the review and approval of all developments, plans and alterations there to.

Mandatory Orientation meetings will be periodically held between the DRC and all clients and their Architect prior to any submissions.

Sketch Plans must be presented by the Architect to the Design Review Committee for pre-scrutiny or preliminary discussion to ensure that the proposal complies with the Development Manual.

The following to be included at Sketch submission:

- A letter from the Owner confirming the appointment of the Architects with proof of their SACAP registration .
- The prescribed Design and Review Fee as set by the HOA.
- This sketch submission must depict the overall design and concept of the development with sufficient detail that the committee can clearly understand. **1 colour and 1 black/white copy must be submitted. 3ds must accompany your submission.**

The Design Review Committee (DRC) may request clarification on certain aspects of the development and must approve these drawings by stamping and returning one copy, before final drawings can be submitted.

Final Drawings must include all the items presented on the concept drawings and must be submitted to Design Review Committee in duplicate for approval. 1 colour and 1 black/white. Landscape plan and Final 3ds must be included. On approval 1 set will be returned to Architect.

- All drawings must be signed by the owner or his duly appointed representative and if the latter, a copy of the relevant power of attorney must be provided.
- Architect registration number must appear on the submission drawings. (SACAP)
- All plans to bear Architects signature.
- The plan scrutiny checklist duly completed (See Annexure A) must be included with submission.

The Design Review Committee hereby reserves it right to discretionary powers should any 'grey areas' or ambiguity exist in this manual or where an alternative interpretation of the manual and specification has occurred. Where the DRC permits variations, these are in respect of specific site conditions and should not be considered as a permanent amendment to the manual. Design and construction will be subject to the approval and control process of the HOA whose decision shall be final.

Following the approval of the **DRC**, plans must be submitted to the **Local Authority (LA)** in the normal manner to obtain approval . Once the Local Authority approves the plans, a copy of the approved plan must be given to the DRC. The DRC will review the LA Approved plans in comparison to the drawings submitted to the DRC. Once reviewed, the DRC will approve the plans in writing. Should the Local Authority require any changes to the plans, or list any referrals, these changes must be referred to the DRC for approval before re-submission to the LA.

Site Handover will only occur once the following conditions have been satisfied;

- LA approved plans.
- All levies, construction deposits, and all outstanding contributions have been paid and brought up to date.
- All documentation required by the HOA prior to commencement on site. (see site handover certificate)

The HOA will be entitled to regulate the activities of all building and other contractors.

The services including water and electricity must be installed prior to commencement of the building contract.

A selected and limited panel of building contractors will be selected by the HOA to build on the estate on the following basis:

- All Builders are to be registered with the NHBRC.
- All Builders are to prove their expertise in the construction of high quality residences. Three references of recent examples are to be provided.
- The number of Contractors on the panel are to be determined from time to time by the HOA based on demand.
- Contractors must sign the Contractors Protocol Document.
- Owners Builders will be considered should they comply with the requirements as set out above.

The owner is to advise the HOA of the estimated date of occupation approximately 2 weeks prior to occupation. No deviations will be permitted unless, an interim deviation plan has been submitted and approved by the DRC.

Any external deviations without prior approval from the DRC/HOA will incur fines.

Re inspection fee for every additional inspections will be charged at R2000 + VAT per visit.

On completion owners cannot submit final plans to the Local Authority without the written approval/stamped plans from the DRC/HOA.

Construction deposits will be used at the discretion of the DRC/HOA. Will only be refunded 30 days after completion of landscaping.

Once occupation is achieved, the owner must then liaise with the HOA/ Estate manager to arrange:

- Issuing of refuse bins
- Collection of refuse
- Issuing remote control.

23• DEFINITIONS AND GENERAL

Unless the context indicates otherwise, the under mentioned words shall have the following meaning:

“boundaries” means the ERF boundary as indicated on the Approved Estate Site Plan. Survey pegs will mark this area.

“building footprint” is defined as being the total overall area of the building were the structure or any part of the structure meets the ground, measured from outside of the walls to outside of the walls.

“coverage” means the total area, expressed as a percentage of the total area of the ERF, that may be covered by building measured outside walls and covered by a roof or projection, provided that the area covered by the first meter (as measured from the outside of the exterior wall concerned) of an eave or other similar projection shall not be included in the calculation of the permissible coverage, provided further that covered parking is included under the meaning coverage.

“Dwelling” means a self contained building with a group of inter-leading rooms used only for living accommodation and housing of a single family with such outbuildings as are ordinarily used therewith including not more than a single kitchen. It does not include as are to stable livestock.

“External living area” is defined as being the area between the No building Servitude and the Building Footprint.

“No building servitude” is defined as a “NO GO” area surrounding the perimeter of the ERF, where the outer reaches of the ERF meets either its neighbours or private open space or road. No development, disturbance or activity of any kind shall be entertained in this area. Save for the necessity of a natural driveway, and the related connections to human activity, such as sewerage, and electricity etc, after which, the evidence of such activity shall be removed, natural habitat reconstituted. No disturbance of this zone shall be entertained by the HOA.

The building footprint and external living areas may not be moved, only in exceptional environmental situations and a full motivation must be submitted for the approval to the DRC and if necessary the Local Authority.

Owners must comply with the land usage regulations

Properties may be consolidated. The owners attention is directed towards item 2. SITE AND BUILDING CONTROLS within the context of this statement.

Intaba Ridge only has 3 phase power supply, no single phase.

This Development Manual is subject to periodic revision. The latest version will be authorised by and available from the HOA. Only the latest manual is applicable, previous omissions or changes to the Development Manual will not set a precedent and cannot be used to override the current Manual.