

INTABA RIDGE

— SECURE ECO - ESTATE —

THE FRUITS
OF PHASE 2...

MEET THE
GRIFFIN FAMILY

LOCAL SCHOOLS
ST CHARLES COLLEGE
AND EPWORTH

INSPIRED LIVING **NATURALLY**

EDITION 3



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RL30068

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Stone and timber combine to create this Sagnelli designed home. Offering all the comforts of luxury lodge living that the family can enjoy daily. Set on a 2500 sqm stand and boasting 325 sqm of home. 3 Bedrooms, each with their own en-suite bathroom, open plan living areas and a large covered veranda. Double garaging and staff accommodation complete this awesome lifestyle.

Plenty of room in this 381 sqm luxury home. Offering 4 spacious bedrooms, each with an en-suite bathroom, open plan living areas and high ceilings. The large open plan living areas spill out onto a beautiful veranda. Double garaging and Set on 2500 sqm of land, full staff accommodation and double garaging complete this home.

Intaba Ridge offers you the unique opportunity to create your luxury game lodge lifestyle on the doorstep of Pietermaritzburg. Stands are 2500 sqm in extent and there are various designs and building packages to choose from. If you are looking for 3 bedrooms or 4, double storey homes, Intaba Ridge can meet and exceed your expectations.

Explore the various options at Intaba Ridge Eco Estate. Land and building packages available to meet all discerning buyers. Live the lifestyle where the antelope roam free and mother nature is on your doorstep. 10 min from the Pietermaritzburg CBD, 20 mins from Hillcrest where convenience and comfort abound.

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— SECURE ECO - ESTATE —



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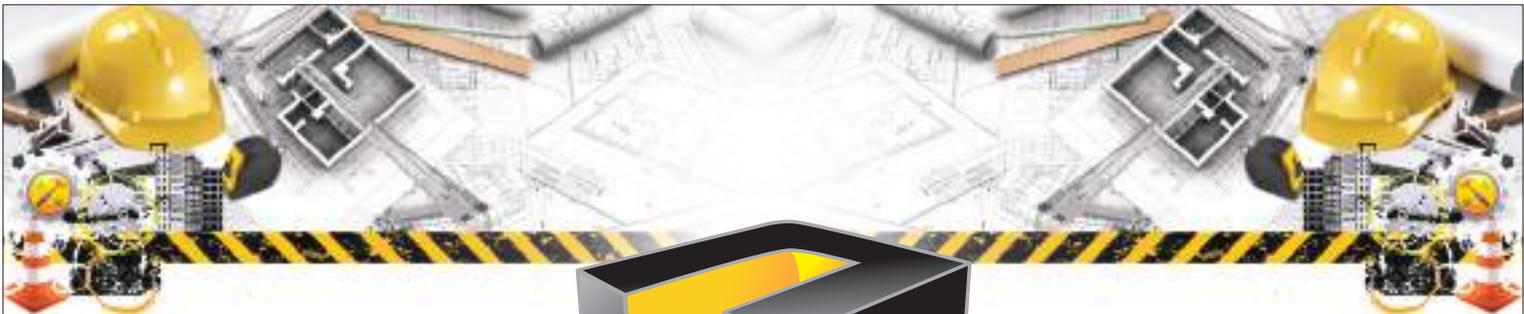


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FROM THE DEVELOPER



I am really excited to see that the Intaba Ridge, phase 2 application is well under-way, having officially started earlier this year. As a developer I am always amazed at the level of detail that a town planning application goes into. We have some of the best environmental and development legislation in the world.

Our main feature in this edition explains some of this in a brief summary of the application that has been almost 10 years in the making! At Intaba Ridge, we are uniquely privileged to be located in the Upper Mpshini Conservancy with Bisley Nature Reserve as our neighbour. It is therefore vital for us to ensure that phase 2 is developed in a sustainable way, with the minimum environmental impact. In order to achieve this, no less than 14 consultant reports and specialist studies have been commissioned for this application,

with 4 of these having to do with traffic through Bisley Nature Reserve. There are significant benefits in phase 2 to Intaba Ridge residents and one of the most exciting is the upgrade of our clubhouse area. The architectural impressions show what a wonderful clubhouse we can look forward to. Phase 2 will also make more funding available for environmental maintenance and rehabilitation, upgrade all roads to tar and add in significant security upgrades.

As part of the phase 2 application a biodiversity study for Intaba Ridge was done by Peter le Roux. We have included some of the interesting fauna and flora findings of our unique estate in our environmental article.

Due to the increasing popularity of the estate, I am also happy to welcome two new agencies on board at Intaba

Ridge. Tyson Properties and Remax Midlands have joined Pam Golding as mandated agents for Intaba Ridge. We have included a brief welcome and introduction to Angela Maud from Tyson Properties and Andrew Henwood from Remax Midlands in our "Meet the Agents" article.

And finally, our beautiful Sagnelli designed show house located on erf 2 was started in June this year. We look forward to its completion in February next year in order to show-off the Intaba Ridge verandah style architecture, inspired by bush-lodge luxury.

Brendan Falkson

**Director of Sign Power Investments,
the developer of Intaba Ridge Secure
Eco - Estate.**



The Fruits of PHASE 2



They say good things come to those who wait. That certainly applies to Intaba Ridge, phase 2. It has been a long time coming; the application for phase 2 that was proposed in 2009 eventually started in January this year and is now well underway. The right to develop a further phase of Intaba Ridge was recorded in the Articles of Association in 2007 and in 2009, Sign Power Investments, the developer of Intaba Ridge, limited this development right to a maximum additional development as indicated on the layout plan as "Phase 2". This layout plan was then included with every sale agreement.

This second phase has significant benefits to all owners as it provides:

- Additional levy income;
- Much needed road upgrades to tar;
- An additional layer of security fencing around Intaba Ridge, with further security related upgrades including: Impro access control, biometrics, turnstiles and more security staff
- Clubhouse upgrades
- Security: +21% (i.e. additional staff and infrastructure)
- Environmental: +16% in the amount available for ongoing rehabilitation by the HOA
- Estate Management: +22% increase in the monthly amount available for an estate manager, administrator and security manager
- Reserve fund: +23%

Levies

A levy budget was done comparing the fully developed levy at Intaba Ridge in 5 years time as follows:

- In 2022, the levy with phase 2 would be 38% lower

In addition to a lower levy, the same calculation shows additional expenditure available for:

Road & Security:

Significant road and security upgrades for phase 2 are also planned. Firstly, all roads within the estate will be upgraded to premix with kerbing. The first phase of the security upgrade has already been completed, involving an additional 8.1kms of electric fencing, creating a double layer of perimeter protection. Further biometric access control, turnstiles and booms are planned for phase 2.



A section of Intaba Ridge Drive upgraded to Phase 2 specifications.

I am Intaba Ridge

I am a family man and resident at Intaba Ridge
I am a nature lover who loves the outdoors
I am stunning sunsets and misty mornings

I am Intaba Ridge Agent, **Kevin Blomeyer**.

082 788 4950
kevin.blomeyer@pamgolding.co.za



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— PRIVATE GAME ESTATE —

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Intaba Ridge / R5.2 million

Ref# 1PM1335418

Bedrooms 4 / Bathrooms 3 / Garages 2

This expansive 519m² home is on one of the best locations in Intaba Ridge. This brand-new mansion is all about family living on a grand scale. Amazing features include a massive open-plan kitchen with pantry and scullery, study plus a hobbies room, 2 lounges, open-plan dining room, staff accommodation and a beautiful landscaped garden that boasts magnificent savannah views.

Clubhouse

One of the most exciting benefits of phase 2, is the upgrade to the clubhouse and communal facilities. With the additional lifestyle levies collected, it will be possible to add the following phases to the clubhouse upgrade.

Phase 1 will convert the current building into a mini gym, plus the addition of a new entrance courtyard, water features, residents bar & lounge area, ablutions and an HOA boardroom and office. Wooden decking and a braai area with day-beds will also be added around the pool area.

Phase 2 will see the addition of a lap-pool and fire-pit with views over the watering hole and PMB's Table Mountain.

Phase 3 will see the addition of a small kitchen and restaurant area, with patios overlooking both the tennis court & pools.

Process

Since the introduction of phase 2 in 2009, a comprehensive consultation process was undertaken with all owners, including numerous Home Owners Association (HOA) meetings in 2015 and 2016. As a result of this process a legally binding agreement between the HOA & the developer, will ensure that Intaba Ridge maintains its large open spaces and game corridors, by restricting any further development on the current 286ha property. This will ensure that Intaba Ridge remains the least densely developed gated estate in KwaZulu-Natal. In fact, after the development of phase 2, there will still be 237ha of open space which is 83% of the property. This makes Intaba Ridge the only Estate in KwaZulu-Natal with a density below 1 unit per Ha, with more than double the amount of open space of any estate listed below.



Estate Name	Size (Ha)	Units	Units/Ha	% Open Space
Intaba Ridge (Phase 1 & 2)	286	250	0.87	83%
Garlington	100	350	3.50	40%
Victoria Country Club (excluding golf course)	150	600	4.00	20%
Palm Lakes Estate	670	3650	5.45	34%
Simbithi Eco Estate	430	2395	5.57	25%
Dunkirk Estate	52	333	6.40	39%
Brettenwood Estate	100	700	7.00	34%
Mt Edgecombe 2 (excluding golf course)	128	900	7.03	20%
Mount Richmore Estate	201	2096	10.43	35%

Source: Luxe Magazine July-Sep 2017



This entire process took about 18 months and so it was only early this year that a full professional team was appointed as follows:

- Town Planning: Greeneland
- Engineers: Bosch Projects and Bosch Stemele Africa
- Traffic: SSI and DMA Traffic Engineers
- Environmental: Green Door Environmental

As part of the process, the following specialist studies have also been undertaken:

- Updated traffic counts in April 2017 by Bala Traffic Surveys
- Traffic Study compared to other game reserves by C. Havenga Traffic Engineers
- Biodiversity Assessment by Peter le Roux
- Wetland Assessment evaluation by Malachite Environmental Services
- Geohydrological study by Terratest
- Water Use License application by Greendoor
- Traffic warrant calculation for a traffic lights as required by the KZN Department of Transport by DMA

One of the key aspects of the phase 2 application is the increased traffic flow through Bisley Nature Reserve. Due to this, a comprehensive set of traffic studies, counts and reports was commissioned. An initial Traffic Impact assessment was done by SSI and then updated by DMA in 2017 by conducting new traffic counts. DMA were also tasked to do a traffic warrant calculation, as required by KZN Department of Transport to determine whether a traffic light at the Gladys Manzi/Bisley Road intersection would be permitted or required.



An additional specialist traffic study was conducted by C. Havenga Traffic Engineers. This study compared the traffic flows generated by Intaba Ridge through Bisley Nature Reserve, with those experienced in the Dinokeng Big 5 Reserve and the Kruger National Park. Some of the interesting facts to emerge from these studies are:

- Traffic through Bisley, for the full development of phase 2 is expected to be less than that experienced in the Kruger Park and at the Dinokeng Big 5 Reserve.
- This traffic volume is also too low to qualify for a warrant as required

by KZN DoT for the installation of a traffic light at Gladys Manzi Road.

- There is an urgent requirement for the Msunduzi Municipality to re-instate the road width to 5m along its entire length. This was only partially completed last year due to budgetary constraints.

Once these studies and reports have been completed, the professional team will consolidate and evaluate the cumulative impact on the application. The application will then need to be amended to deal with all the engineering, traffic, environmental, town planning

and regulatory concerns raised by the interested and affected parties, the municipality and the specialist studies. This will then enable the municipality to make a decision in the early part of 2018- almost 10 years since phase 2 was first planned!

We can't wait! 🙌



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Five Schools - One College

NEW PRE-PRIMARY SCHOOL WING AT ST CHARLES COLLEGE

In 2012 the Pre-Primary School of St Charles College moved into a spacious, well planned and thoughtfully designed block of buildings. Scrummies, as our Pre-Primary School is better known, at the time consisted of two Grade 0 and one Grade 00 class. The layout allowed for all the spaces traditionally found in a Pre-Primary School, including a “busy room” for fantasy, music and drama and space for an occupational therapist. There was also a spacious staff and meeting room.

The news about our warm, happy learning space spread like fire through Pietermaritzburg and soon there was a great demand for us to add some classes. A Grade 000 class was introduced in 2014 and the next year saw the introduction of a second Grade 00 class.

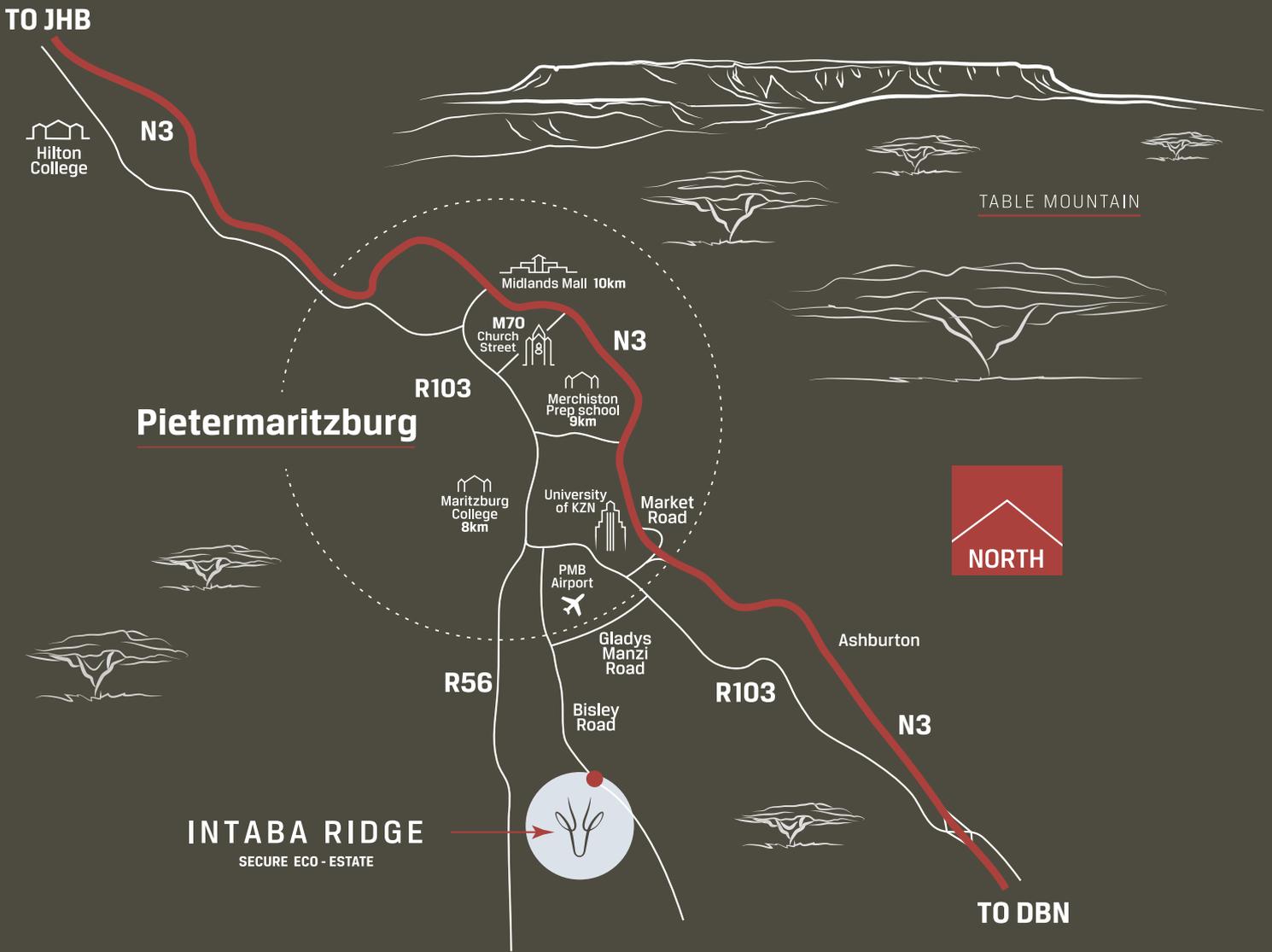
True to the South African spirit, and because we are part of a greater College, we were able to “make a plan”, by sharing facilities for music, drama and Occupational Therapy with our Junior

Primary as a temporary solution to our need for space. Our growth necessitated a permanent solution for our space requirement. This solution has now been provided.

We are excited to announce that our Grade 0 teachers and boys have recently moved into two brand new, spacious classrooms. This will mean that we will again have dedicated areas for a “Busy Room”, our Occupational Therapist and an additional room for fantasy and after-care. ✨



INTABA RIDGE



6km from PMB Girl's High
6km from Hayfields mall
7km from Maritzburg College
7.5km from Epworth
8.5km from St. Johns
8.5km from St. Charles

10km from Wykeham
10km from Merchiston
10km from Cordwalles
5km from PMB Airport
9.5km from PMB Golf Course
11km from Midlands Mall



MEET THE GRIFFIN FAMILY

In this edition we meet Dave, Sharon, Justin and Brett Griffin and take a look into their exquisite home.

WORDS CARLA GAILLEY

Dave and Sharon Griffin married in 1979 and over the past 38 years have lived in various places around South Africa. They finally settled in 1990 in Pietermaritzburg with their two sons, Justin and Brett.

Dave and Sharon co-own Africa Power Equipment and manage the KwaZulu-Natal branch with their youngest son Brett who runs the Johannesburg branch. The company distributes power equipment such as solar systems, generators and air conditioners. They too have an IT business in Camps Drift, Pietermaritzburg. It deals in all aspects

of IT from fibre connectivity, to cloud services to data security. The business has been operating since 1990. Brett lives in Johannesburg with his wife, Claire and daughter, Tyla and they are expecting their second child in October. Justin is the eldest of the two and lives in Pietermaritzburg with his lovely wife, Hayley and their three beautiful children, Rachel, Riley and Connor. Justin owns and manages Talisman Plant Hire in Pietermaritzburg.

The Griffins discovered Intaba Ridge in April 2014 and fell in love immediately. They were in disbelief that only a few

kilometers away from Pietermaritzburg, there was the estate that they had been dreaming of for years. From the get-go, Dave and Sharon's dream was to have a home with a large open plan area with exposed beams flowing onto a massive verandah via frameless stackable doors. They wanted a home to boast magnificent views of Table Mountain in the distance. The talented architect, Warren Grenfell designed their dream home and after many months of planning, designing and conceptualizing, their plans were passed in February 2015 and they began to build their dream home.



“The estate’s state of the art security system allows us and our grandchildren to walk safely, run and ride safely around the estate without feeling restricted”



Chris Gunter, a building contractor started the build in April 2015 and gave the Griffins a timeframe of seven and a half months to complete the house. To their surprise, the house was finished on time and within their budget. In November 2015, they moved into their beautiful new home. Solar power, grey water and rainwater harvesting systems were installed to reduce their carbon footprint. The Griffins firmly believe in protecting the

environment. “Being the owners of a solar equipment company, it was a no-brainer to go solar with our build. We love the fact that power outages are barely noticeable and virtually an unknown thing as we run the entire house on a set of solar batteries”, the Griffins expressed. “We have spent countless evenings sitting on our verandah which overlooks our neighbour, Malcolm Florence’s farm and it’s amazing collection of game. We love

the stillness and listening to the animal and bird sounds. The security, space and wildlife make returning home each day a fantastic experience. You never know what you might see while driving through Bisley Nature Reserve and Intaba Ridge”, added the Griffins.

The Griffins feel as if they are on an endless holiday or at a luxurious getaway living at Intaba Ridge. So much so that

MEET THE FAMILY



Justin



Connor & Riley



Hayley & Rachel



A Zebra grazing on their front lawn



Sunrise from their front verandah



Claire, Brett & Tyla

their grandson, Connor when told they're going to a game reserve on holiday, always thinks they're going to Intaba Ridge.

Dave and Sharon love having their family all together at every opportunity they get. They love to take holidays in the Drakensberg, and as all three Griffin men share a

deep-rooted passion for deep-sea fishing, they enjoy travelling to Mozambique and Sodwana Bay. Although the family generally takes turns at celebrating Christmas at each of their homes, they chose to get-together at Dave and Sharon's Intaba home for the past two Christmases. "Intaba Ridge offers a lifestyle that cannot easily be

experienced considering it is so close to a city. The estate's state of the art security system allows us and our grandchildren to walk safely, run and ride safely around the estate without feeling restricted', added the Griffins. ✨



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NATURE IS IN THE DETAIL...

WORDS DR. HANS GROBLER

Sometimes we may take where we live for granted. Sometimes we don't think how lucky we are to live amongst such beauty. Sometimes it is easy to think that this kind of living is "normal", but mostly... we all breathe a small sigh and feel ourselves relax a little after a long day once we cross the threshold of Intaba Ridge's gates. There is something to be said about the healing powers of being immersed in nature.

Peter Le Roux, Intaba's resident Environmental Control Officer (ECO), recently completed a Biodiversity study of the estate. "It was quite remarkable to read what we live amongst." Where some of us see grass, trees and animals, he sees an ecosystem teeming with hundreds of different species. "I must admit, most species are tough to pronounce, but to know the Estate is a thriving ecosystem of such diversity is amazing."

I took a few examples which I wanted to share with you.

Fun Facts about your Estate you may not know:

- **We have 4 different types of Mongooses (or is that Mongeese...?):** Water Mongoose, Slender Mongoose, Egyptian Mongoose & the White-tailed Mongoose.
- **We have a resident Hottentots on our estate:** Hottentot Golden Mole.
- **Is it a snake?** No, it's a Green Giant Earthworm!
- **Look after our Oribi as they are considered "endangered" in South Africa.** We are very fortunate to have them on the Estate.
- **We also have Blue Wildebeest on the Estate, but are they Blue?** "Blue wildebeest" refers to the conspicuous, silvery-blue sheen of the coat, while the alternative name "gnu"

originates from the name for these animals used by the Khokloi people, a native pastoralist people of southwestern Africa.

- **Intaba has three habitats identified as being of high conservation value which should be protected:** Primary Grassland (59.6 ha); Wetlands (16.7 ha); Indigenous Woodland (0.73 ha).
- **Who says indigenous gardens are not colourful?** Intaba Ridge has 5 different species of aloes i.e. *Aloe maculate*, *Aloe pruinosa*, *Aloe ferox*, *Aloe Kraussi*, *Aloe arborescens*. These guys know how to steal the show as flowering aloes generally flower in winter when everything else is looking drab.
- **One foot in front of the other, and that's how it's done.....** Meet our rare Red-Headed Millipede! 🦗



Aloes



Green giant earth worm



Red-headed Millipede



Oribi

REDEFINING THE LAWS OF NATURE

Basilisk Lizards, have the ability to spread their toes and run across water.



Not all creatures are created equal.

Certain, unique animals, have the ability to defy all the odds and go above and beyond what is naturally expected of them.

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EPWORTH

EMBRACING THE VALUES OF FAITH,
COMPASSION AND COURAGE

Epworth is an independent, Christian school with a Methodist ethos that is situated in beautiful park-like surroundings on the outskirts of Pietermaritzburg. It provides a balanced education that blends academic, spiritual, sporting and cultural activities into a unique and enriching experience for boys and girls from Grades RRR to seven and girls only from Grades eight to 12.

For the past 119 years, Epworth has held steadfast to its motto, *Fida, Humana, Fortis* (Faith, Compassion and Courage). Today, it encourages all pupils to weave these core values into their lives: faith, which enables them to believe in spiritual good for everyone; compassion, which helps them care for the world and all who live in it; and courage, which gives them strength to work for change whenever it is needed.



Enriching pupils' educational experience

Although people are the key to success in any activity, facilities provide the impetus, support and opportunity for pupils to achieve excellence and to reach their individual goals. Epworth recently celebrated the completion of a major building project resulting in state-of-the-art facilities that have transformed and enriched the learning environment.

In the Preparatory School, the library has been renovated into a modern, vibrant space that is embraced by all pupils. According to the Deputy Principal, "To find pupils queuing up in the morning to get into the library is a dream come true."

An extra level, added above the new library, has provided extra space for a dedicated special-needs facility, an

isiZulu classroom, a universal classroom for team teaching and a management office. It has also freed up what was a congested music department, allowing for a separate music wing away from the academic area.

A second indoor multi-purpose centre and new sports complex with offices, lounge and a gym has created a hub of positive energy and activity. This new space opens up opportunities for teachers and coaches to promote and deliver creative, dynamic and relevant learning experiences for pupils.

Epworth can now host bigger sports festivals, as well as substantial music, performing arts and social events. Sport is less weather dependent and concurrent physical education sessions can take place.

The gym is a welcome addition to Epworth's excellent sports programme,

providing the perfect workspace for the school's in-house biokineticist. Its central focus is on lifestyle fitness and developing a healthier, stronger child.

It also offers an additional teaching facility for the sports department and is highly conducive for implementing the High School's Top Fit programme, which caters for pupils who are serious about their athletic performance. Epworth is already beginning to see the benefits of this programme throughout its sports codes.

By the end of the year, Epworth will boast a newly renovated chapel that, while retaining its original character and history, will better serve the entire Epworth community. It will see an increase in the seating capacity, more flexible use of the space for worship and concerts, and an enhanced aesthetic appearance. ✨



MEET THE AGENTS



Meet **Angela Maud**
Tel: **(082) 791 3489**
Email: angela.maud@tysonprop.co.za

I believe that I did not choose real estate as a profession but that it in fact chose me. While studying a B.Com Degree (Accounting) at UKZN, it was suggested that I write the Estate Agency Board Exam. This was the beginning of a very successful career in real estate for me.

Born and bred in Pietermaritzburg I have always been situated in the heart of Ashburton, which I believe exemplifies 'country living close to town'. Ashburton is one of Intaba Ridge's nearest suburbs and although there is a beautiful range of wildlife, game and nature reserves in this area, it is also close to top schools, the airport and the CBD. It is no wonder the area is becoming increasingly popular.

With over 25 years of experience in the area, I pride myself on my ability to nurture on-going relationships by building a unique brand of service that keeps my clients loyal to me. This is also made possible by having such a strong team at Tyson Properties behind me. Tyson Properties is built on exceeding our client's Expectations.

I can't wait to help you make the right home choices.



Meet **Kevin Blomeyer**
Tel: **(082) 788 4950**
Email: kevin.blomeyer@pamgolding.co.za

My family and I were one of the first to purchase and build at Intaba Ridge. As one of the early residents, I initially helped the Pam Golding's agents meet with their clients in order to explain what a wonderful lifestyle comes with living at Intaba Ridge. Eventually, I became a registered agent and joined Pam Golding as the Intaba Ridge, 'specialist.'

I run Blomeyers Airconditioning and I am a family man who loves nature and the outdoor lifestyle that comes with living on one of South Africa's most beautiful estates. Working at Pam Golding has given me the opportunity to help so many others make this area I love their home. It has been extremely rewarding to help clients choose their ideal site to build their dream home and then get to meet them, once they move in, as residents, neighbours and friends.



Meet **Drew Henwood**
Tel: **(082) 421 5753**
Email: andrew@remaxmidlands.co.za

My wife and I recently purchased a site at Intaba Ridge and we are really excited to build our dream home on this unique estate. We have 2 children and our eldest child attends school just down the road at Epworth Pre-Primary. We love the "bush-lodge" luxury of the estate's architecture and being an avid gardener with a passion for collecting and cultivating aloes, I look forward to propagating indigenous flora to plant around our home.

I have been in the real estate business since 2004 and in late 2015 I was appointed a director of RE/MAX Midlands. It had been quite a journey and having experienced the ups and downs of the real estate market, I realize that ultimately my success depends largely on how I look after my friends and clients with their property needs and that, if I do a good job, and earn their trust, hopefully they will, appoint me as their preferred property specialist.

In return for your business and your referrals, I will keep in regular contact with you and keep you in the picture as far as property trends are concerned. I further undertake to give you exceptional service in all property related matters. How's that for a deal? I look forward to being of service to you in the very near future!

dare to bring your dreams to

Life



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- Oscar Wilde



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